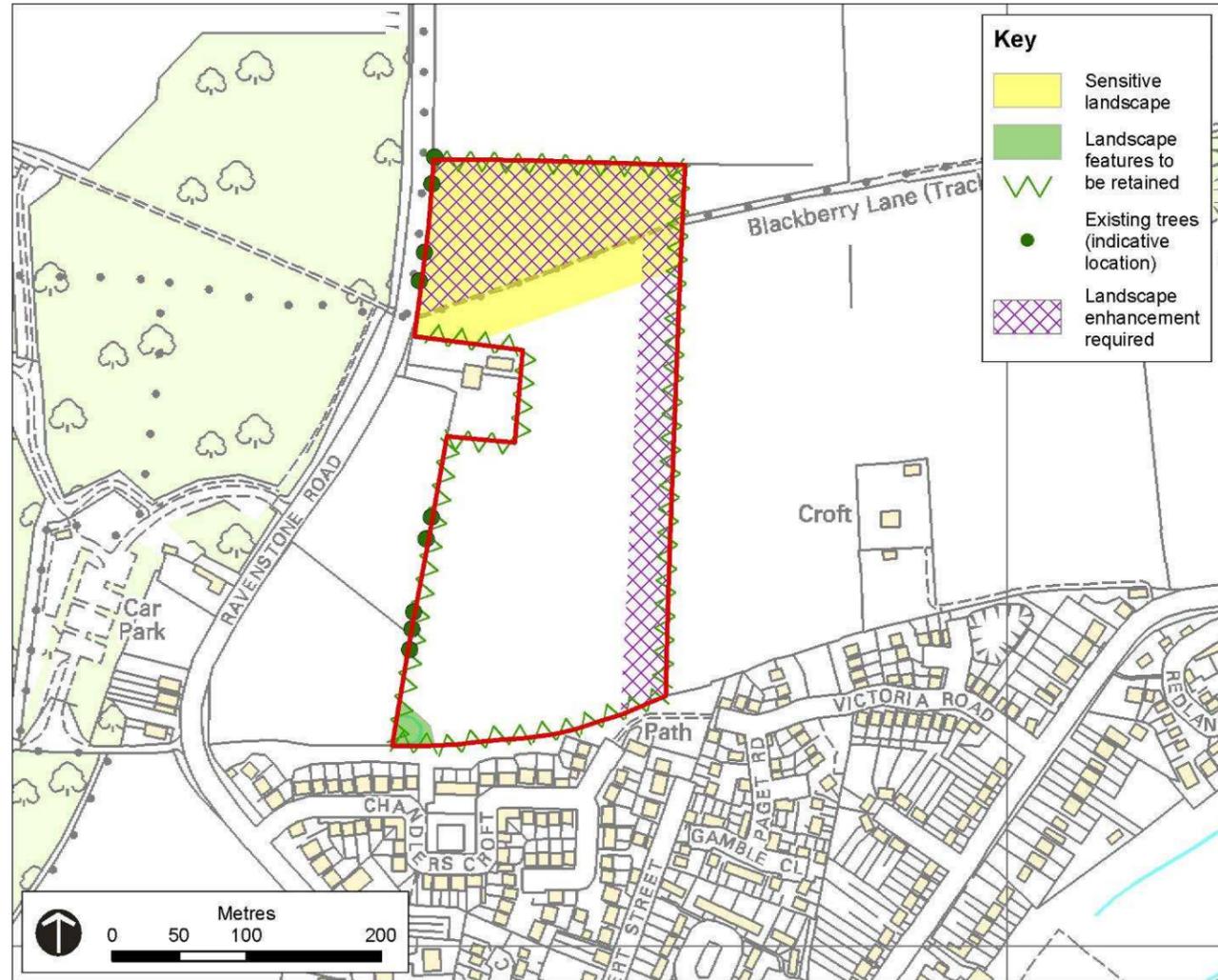


# I1: Land to the east of Ravenstone Road

## Description of Site:

The character of the site is described within the description for Urban Fringe 1: Northern fringe of Ibstock. The site comprises two arable fields on sloping ground which falls from the edge of Ibstock. The Blackberry Lane crosses the northern edge of the site.



## Recommendations or Conditions if site is developed:

- Retain the mature hedgerow along Ravenstone Road
- Retain the hedgerows and trees around the site boundaries
- Augment the boundary along Ravenstone Road with woodland planting to retain its enclosed and wooded character
- Provide new woodland planting along the southern fringes. This should include small blocks of woodland, open space and groups of trees to soften and screen development
- Ensure development is screened from Ravenstone Road to retain a wooded and rural approach into Ibstock
- Retain separation between the isolated property on Ravenstone Road and the site
- Retain open views across the countryside from Blackberry Lane
- Ensure that the Blackberry Lane is retained within open space and trees to retain its separation from built form
- Ensure that development is screened from site and does not alter the character of Ibstock being a single line of development on high ground in views from the countryside to the north
- Ensure development integrates and reflects the scale, form and orientation of buildings within Ibstock.
- Ensure development is constructed using red brick and tile roofs
- Use hedgerows and low brick walls as property boundaries
- Ensure the sense of separation between Ibstock and Ravenstone is not reduced through development along this edge

## Potential to achieve mitigation in keeping with landscape character:

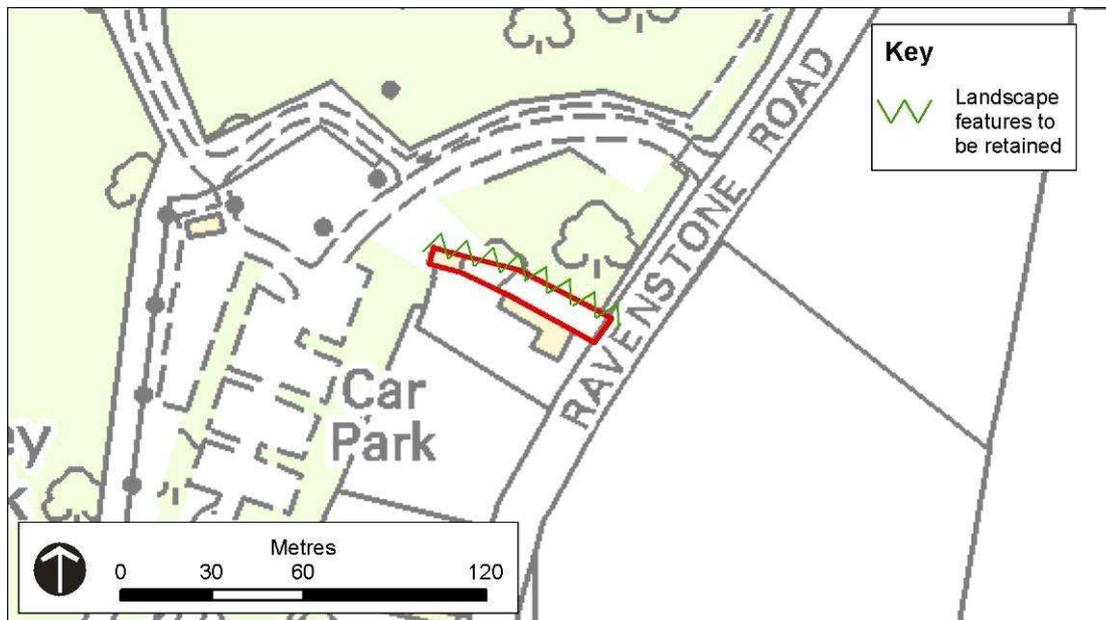
### LOW

This site is on rising ground within a relatively open landscape. Ibstock is seen within this landscape as a narrow band of properties on high ground. The site currently has low hedgerow boundaries which provide little screening. To the north Kelham Bridge Nature Reserve and associated woodland planting will provide some screening as it matures, however this is on lower ground which reduces its effectiveness as a screen. It would be difficult to develop the site without making this edge of Ibstock more prominent and altering its appearance and scale within the wider landscape.

## I2: Land to the north of Highfield House

### Description of Site:

The site comprises trees and a small grass track between the woodland and a private residence (Highfield House).



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### Recommendations or Conditions if site is developed:

- Retain some mature trees within the development where possible
- Include mature trees along the frontage of Ravenstone Road
- Use low walls with hedgerows behind as property boundaries along Ravenstone Road
- Ensure development reflects the scale and form of other properties along Ravenstone Road including terraces, cottages and detached properties
- Ensure development uses red brick with clay tile or slate roofs
- Ensure properties are set within a small front garden and face onto Ravenstone Road

### Potential to achieve mitigation in keeping with landscape character:

#### **MODERATE**

This is a very narrow site and partially covered by mature trees which form part of woodland within the Sence Valley Forest Park. It would not be possible to retain trees on this site without significantly reducing the land available for development, although the site is only on the very edge of this woodland. However it is an enclosed site immediately adjacent to other private properties and development would not be out of character with these properties.

## I3: Land to the south of Highfield House

### Description of Site:

This is a small site between properties along Ravenstone Road. It is almost completely covered mature trees. A mature hedgerow and trees along Ravenstone Road restrict views into the site. To the west the site is bordered by mature trees which provides screening.



### Recommendations or Conditions if site is developed:

- Retain mature trees to provide a mature framework and setting for development
- Retain mature hedgerow and shrubs along Ravenstone Road to retain the wooded character of this approach into Ibstock
- Ensure development is set back from the road slightly within front gardens to help retain the mature setting and wooded character
- Ensure development is of a similar scale and form to properties immediately adjacent and includes small terraces and cottages or detached properties similar to Highfield House
- Ensure any development uses red brick and grey tile or slate roofs
- Ensure property boundaries use existing shrubs and trees and where not possible are formed by hedgerows with specimen trees

### Potential to achieve mitigation in keeping with landscape character:

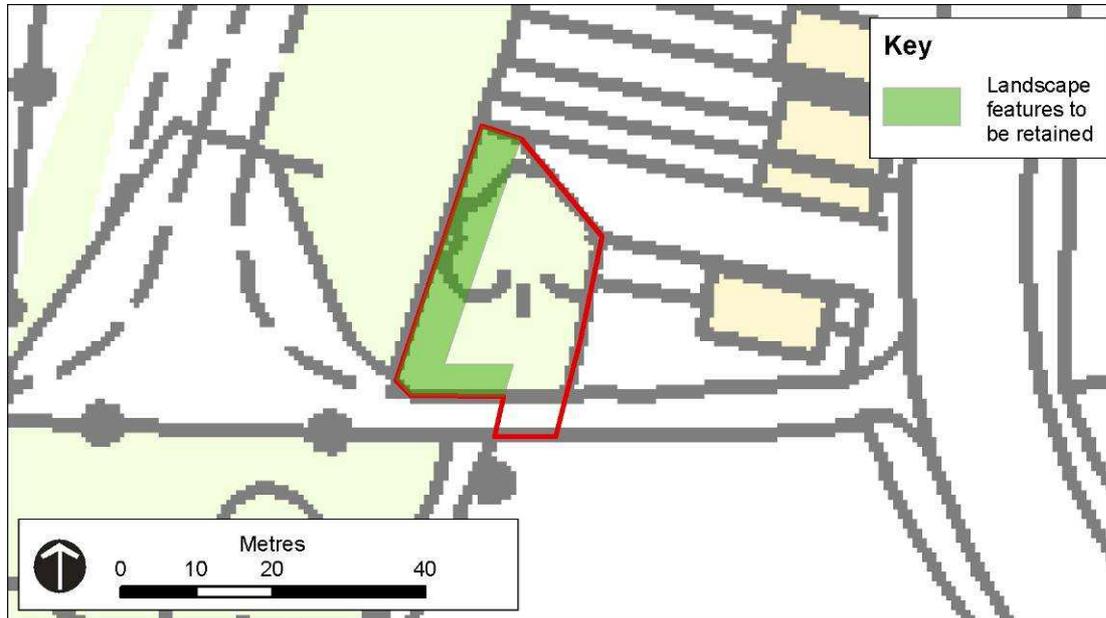
#### **MODERATE**

The site is covered by mature trees which form part of woodland within the Sence Valley Forest Park. It would not be possible to retain all the trees on this site without significantly reducing the land available for development. It is an enclosed site immediately adjacent to other private properties and development would not be out of character with these properties. However it would be difficult to retain the wooded approach to Ibstock if the entire site was developed. There is scope for tree loss within the centre of the site to allow development whilst still maintaining the appearance of wooded fringes.

## I4: Land to the rear of 2 & 4 Ravenstone Road

### Description of Site:

This is a small site to the rear of 2 and 4 Ravenstone Road. It is completely covered by scrub and mature trees, mostly poplar and sycamore. A small access track is to the south of the site which provides access into Sence Valley Forest Park.



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### Recommendations or Conditions if site is developed:

- Retain mature trees around the site boundaries to provide a mature framework and setting for development
- Ensure development is of a similar scale and form to properties immediately adjacent including small terraces and cottages
- Ensure any development uses red brick and grey tile or slate roofs
- Property boundaries should use existing shrubs and trees and where not possible be formed by hedgerows with specimen trees
- Ensure development is not visible from within Sence Valley Forest Park or from Ravenstone Road
- Retain the narrow wooded track character of the road to the immediate south of the site

### Potential to achieve mitigation in keeping with landscape character:

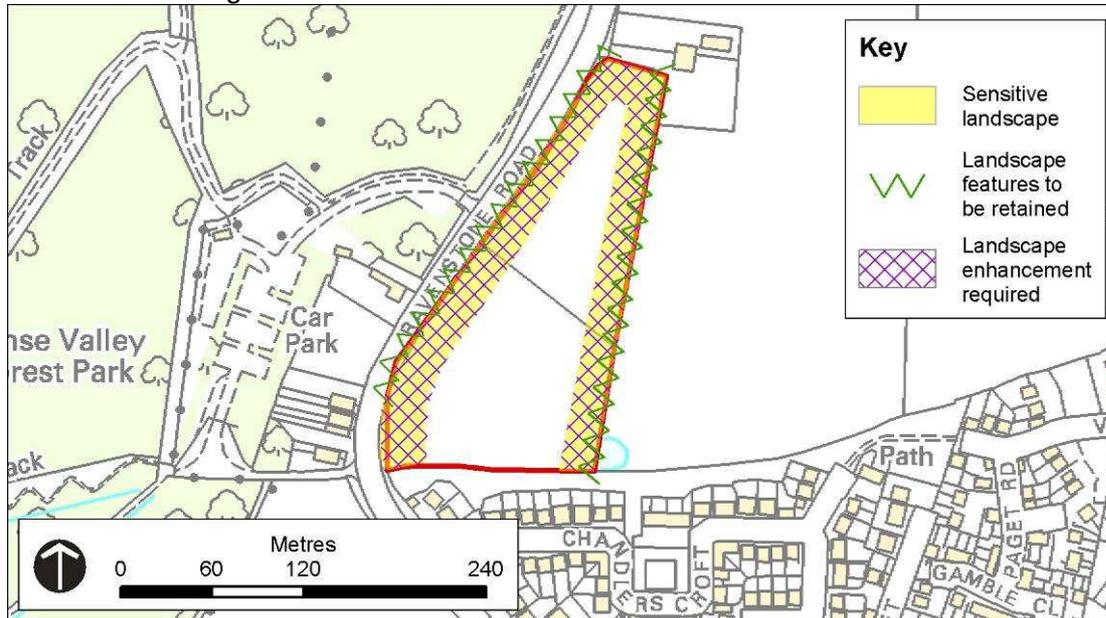
#### **MODERATE**

The site is covered by mature trees which form part of young woodland within the Sence Valley Forest Park. It would not be possible to retain trees on this site without significantly reducing the land available for development. The site is enclosed by woodland to the west and 2 and 4 Ravenstone Road to the east. Development on the site could be accommodated however it would result in the loss of mature trees.

## I5: Land to the east of Ravenstone Road

### Description of Site:

This site comprises two pasture fields surrounded by mature trees and hedgerows. Along much of the approach into Ibstock along Ravenstone Road the character is wooded although at the southern end of the site there are views across pasture fields to trees. The edge of Ibstock is obscured.



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### Recommendations or Conditions if site is developed:

- Retain mature trees to provide a mature framework to the site
- Augment the existing trees along the western boundary to retain a wooded character to Ravenstone Road
- Implement a landscape framework around the northern, eastern and western boundaries. It should include small woodlands and trees within grassland as part of interlinked open space
- Ensure development is of a similar scale and form to properties immediately adjacent including small terraces, cottages and detached properties
- Ensure any development uses red brick and grey tile or slate roofs
- Use hedgerows with specimen trees as property boundaries
- Ensure that development is not visible from the wider landscape to the south and east
- Ensure that development is not visible along Ravenstone Road. Where accesses are required they should be situated close to the edge of Ibstock at the southern edge of the site
- Ensure any access has the character of a small driveway and the entrance into the site is set within some open space with trees to soften views of built form

### Potential to achieve mitigation in keeping with landscape character:

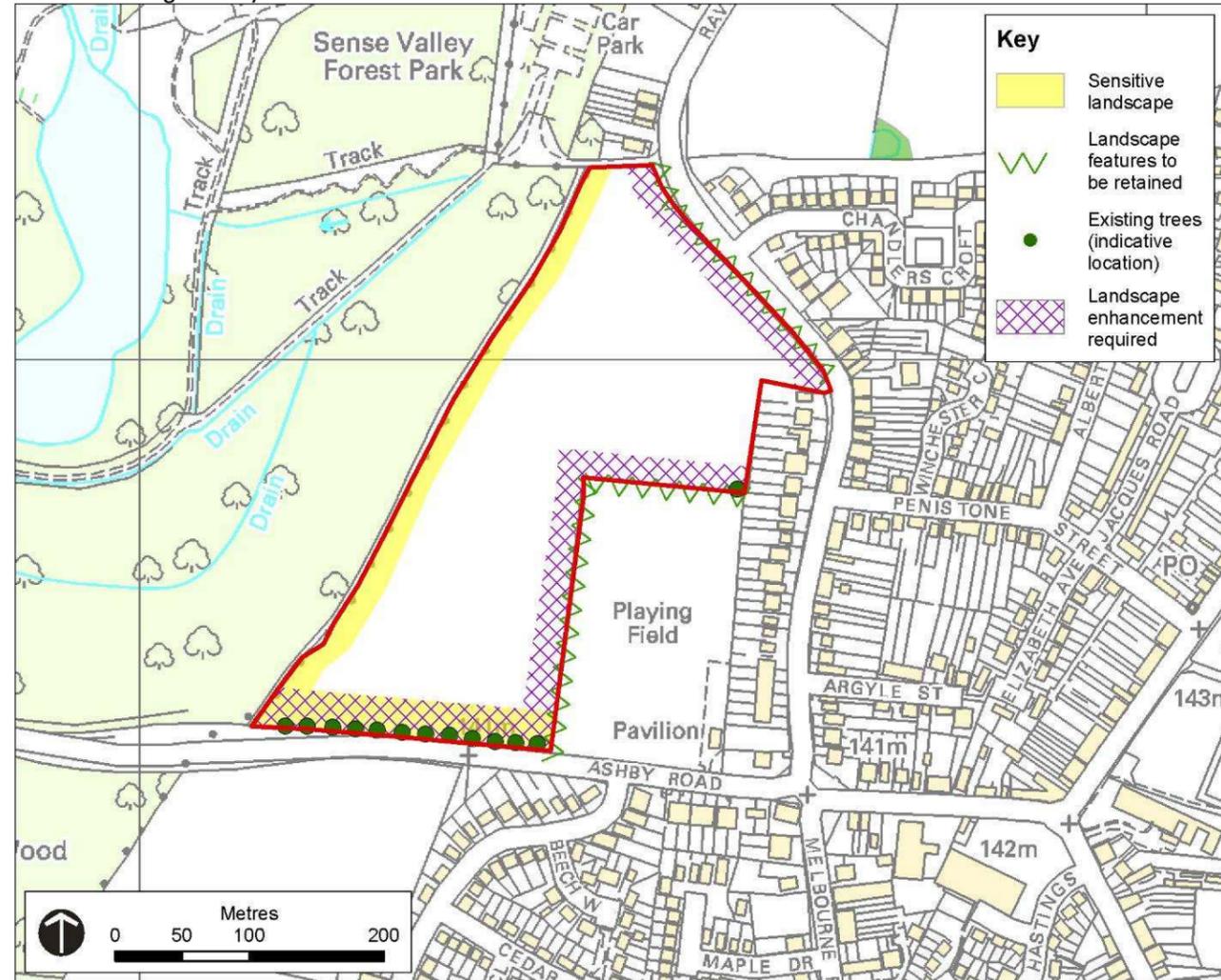
#### **MODERATE**

The site helps to reinforce the wooded and rural character along this approach into Ibstock. Development would alter this character. Views across pasture would be removed. The wooded character of Ravenstone Road could be retained provided an advanced and established landscape framework was implemented prior to development taking place.

## I6: Land to the north of Ashby Road

### Description of Site:

The character of the site is described within Urban Fringe 2: Eastern fringe of Ibstock. The site comprises a single arable field bordered by housing to the east and maturing woodland within Sence Valley Forest Park to the west. A line of young trees provides an avenue entrance into Ibstock along Ashby Road.



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### Recommendations or Conditions if site is developed:

- Retain and augment the avenue of trees along Ashby Road
- Implement an avenue of trees along Ravenstone Road to enhance this entrance into Ibstock
- Ensure a landscape framework of woodland, trees and grassland is implemented along Ashby Road to soften and screen views of new buildings
- Provide linkages from the development and existing edge of Ibstock into Sence Valley Forest Park
- Retain the sense of separation between Heather and Ibstock through carefully siting development to ensure it is not visible from the edge of Heather
- Incorporate open space along the existing footpath on the western edge of the site to provide separation from the urban fringe and reinforce the route's wooded character
- Include some open space and trees to soften views of development from the approach along Ravenstone Road
- Site properties on the northern edge of the site so they appear as a small group of buildings rather than a large mass of development to retain some of the rural character to this approach into Ibstock
- Ensure any development close to the playing field faces it and is set back slightly with specimen trees provided to soften views of the properties
- Include tree planting along roads through the site
- Ensure development reflects the scale, pattern and style of surrounding buildings
- Use red brick with clay tile or slate roofs in building construction
- Demarcate boundaries using low brick walls where properties face existing properties and along main routes through the development. Use hedgerows where properties overlook open space or woodland

### Potential to achieve mitigation in keeping with landscape character:

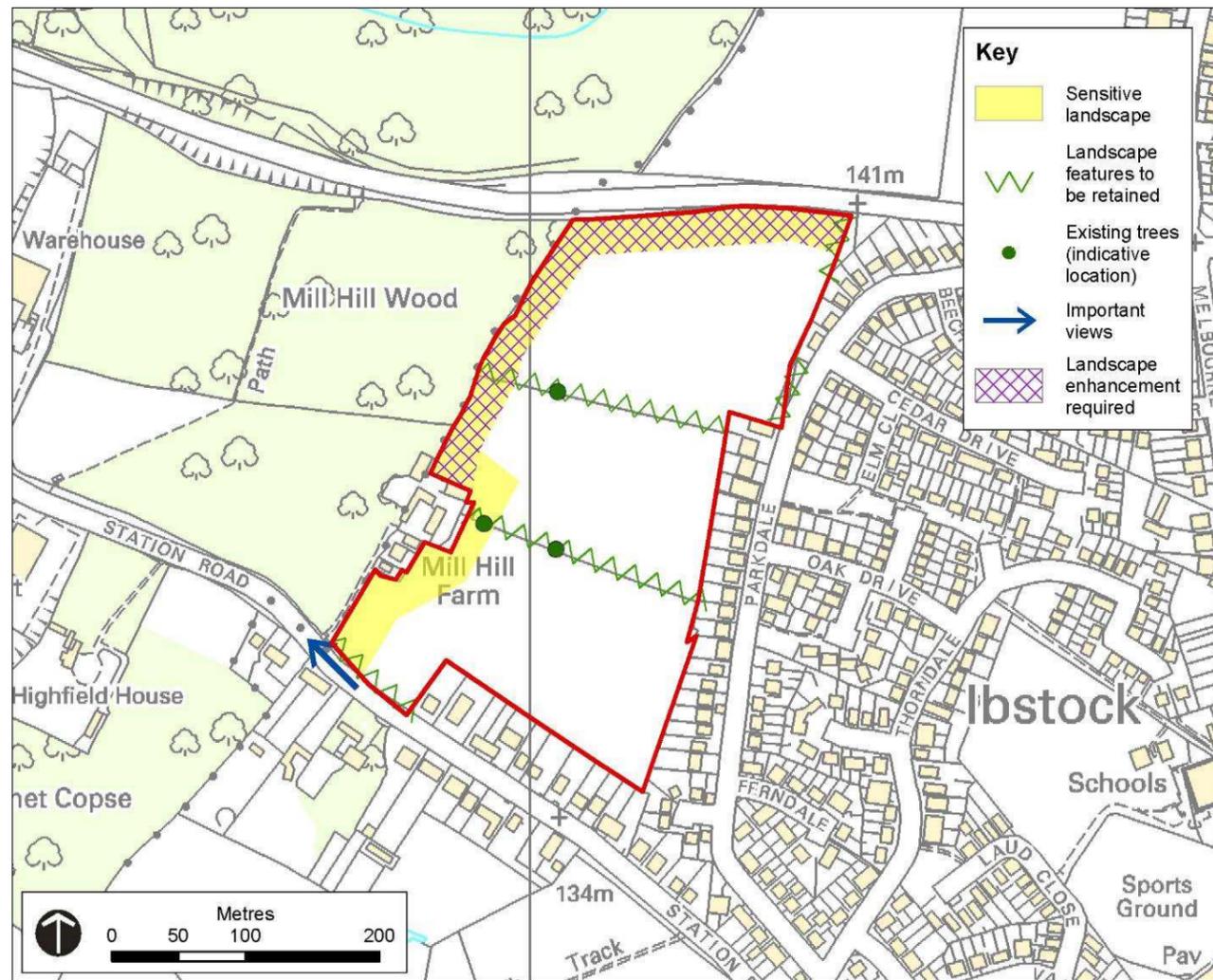
#### MODERATE

This site is on the edge of Ibstock and provides important separation between Ibstock and Heather. However as woodland at Sence Valley Forest Park matures it will provide screening and reinforce the separation between the settlements. Provided development is screened along the approach from Ashby Road then development could be accommodated on site without adverse effects on the setting of Ibstock or on the perceived separation between the two settlements.

## I7: Land to the south of Ashby Road

### Description of Site:

The character of the site is described within Urban Fringe 2: Eastern fringe of Ibstock. The site comprises three regular shaped arable fields bounded by low hedgerows. The urban edge of Ibstock is prominent within the site. Mill Hill Farm borders the site. A new woodland Mill Hill Wood is immediately to the west of the site. This is a young plantation which over time will mature and provide structure and screening to the site.



### Recommendations or Conditions if site is developed:

- Retain the existing hedgerows and mature trees on site
- Retain the existing field pattern within any layout for the site
- Retain the existing hedgerows along Ashby Road and Station Road. Use the hedgerow along Station Road to demarcate property boundaries
- Use hedgerows for property boundaries through the site
- Augment the western boundary with new tree planting. Provide links within this to Mill Hill Wood
- Retain the trees along Station Road to retain the mature setting to the site along this road
- Incorporate tree planting along roads through the site
- Incorporate the existing footpath through the site within open space to help to retain the transition from the settlement to the wider countryside
- Retain a sense of separation between Heather and Ibstock through ensuring that there is no intervisibility between settlements
- Incorporate open space, avenue tree planting and small woodlands along Ashby Road to reinforce the separation between Heather and Ibstock
- Retain separation through open space with tree planting around the edge of Mill Hill Farm
- Retain channelled views along Station Road towards St John the Baptist Church in Heather
- Properties along Station Road should reflect the scale and character of properties opposite the site. This includes larger detached properties of varying styles set within medium to large mature front gardens. This will provide a softer 'green' approach into Ibstock along this road
- Properties within the site should be a maximum of two storeys in height
- Properties should reflect the scale, pattern and form of surrounding properties
- Locate access roads close to the existing edge of Ibstock and seek to avoid creating new access points along the western most edges of the site where there is potential to reduce the sense of separation between heather and Ibstock
- Ensure that properties on the edge of the site are not visible from the edge of Heather which would reduce the sense of separation, particularly along Station Road

### Potential to achieve mitigation in keeping with landscape character:

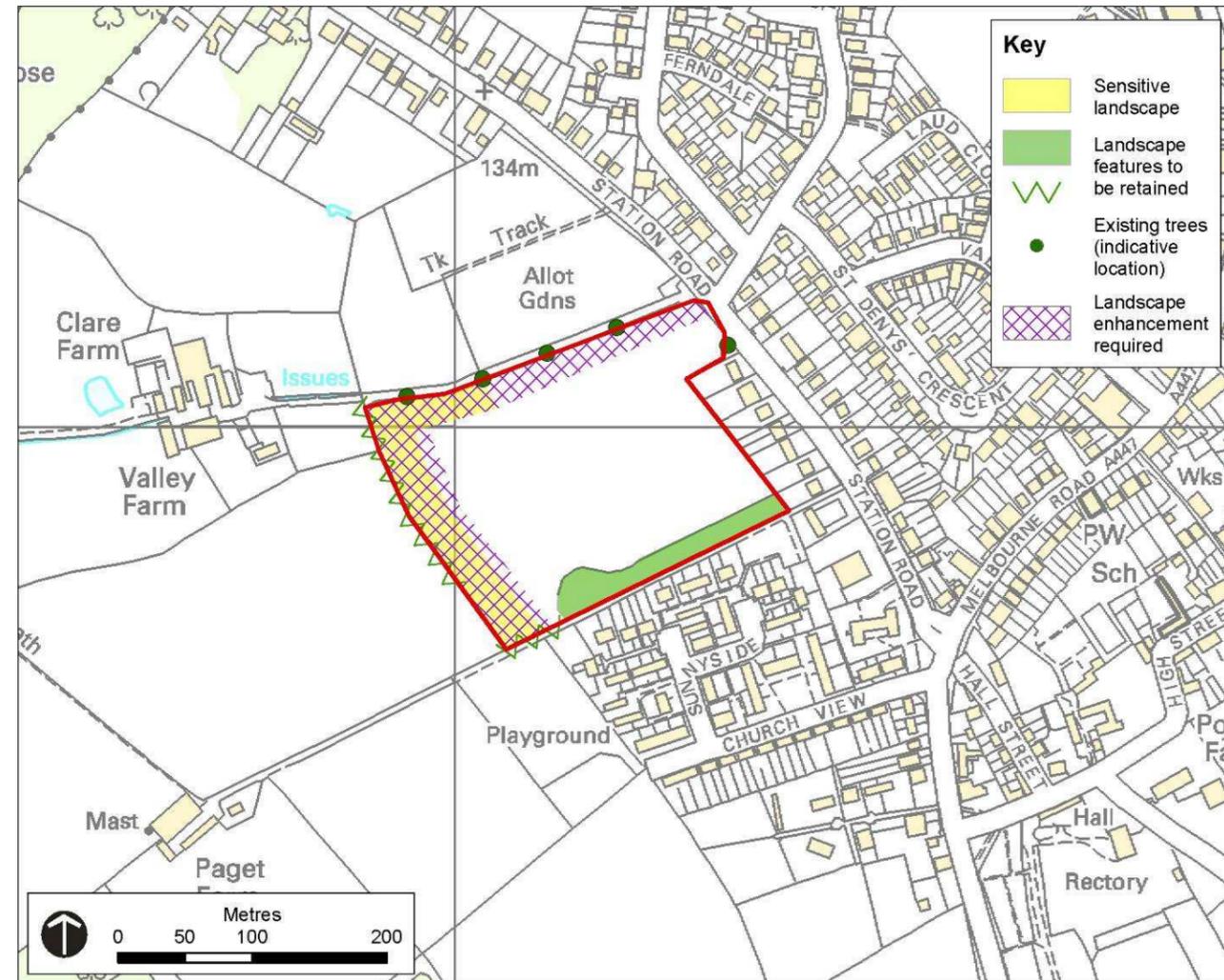
#### MODERATE

This site is on the edge of Ibstock and provides important separation between Ibstock and Heather. As woodland at Mill Hill Wood matures it will provide screening to the site. It is important that the site is not visible from the wider landscape to the west, particularly along Station Road as it would reduce the separation between settlements by increasing their intervisibility. An advanced landscape structure would need to be implemented and allowed to establish prior to development taking place to mitigate and reduce the amount of intervisibility.

## I8: Land to the west of Station Road

### Description of Site:

The site lies on the western edge of Ibstock and comprises a large arable field. There is a narrow block of mature woodland along the southern boundary of the site. From Station Road there are extensive long distance views across the site towards the wider countryside. The site forms one side of a shallow river valley on the edge of Ibstock.



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### Recommendations or Conditions if site is developed:

- Retain the existing hedgerows and mature trees on site
- Retain the mature woodland along the southern boundary
- Augment the southern and western boundaries with open space, small scale woodland and trees to help screen views of the development on site
- Ensure when viewed from the wider landscape that the edge of Ibstock is still seen as a narrow belt of development on high ground
- Ensure that the separation between Heather and Ibstock is not reduced through development on site increasing the visibility of this edge of Ibstock
- Ensure development reflects the scale and form of surrounding properties which are generally two storeys in height and a mixture of detached and semi-detached properties
- Ensure development faces Station Road and is set within medium sized front gardens with hedged boundaries and trees
- Ensure that any development that is visible within the wider landscape appears as a farmhouse with associated farm buildings or a cluster of properties rather than a hard continuous line of development
- Ensure development is constructed using red brick with grey tile or slate roofs
- Ensure tree planting is included along access roads through the site

### Potential to achieve mitigation in keeping with landscape character:

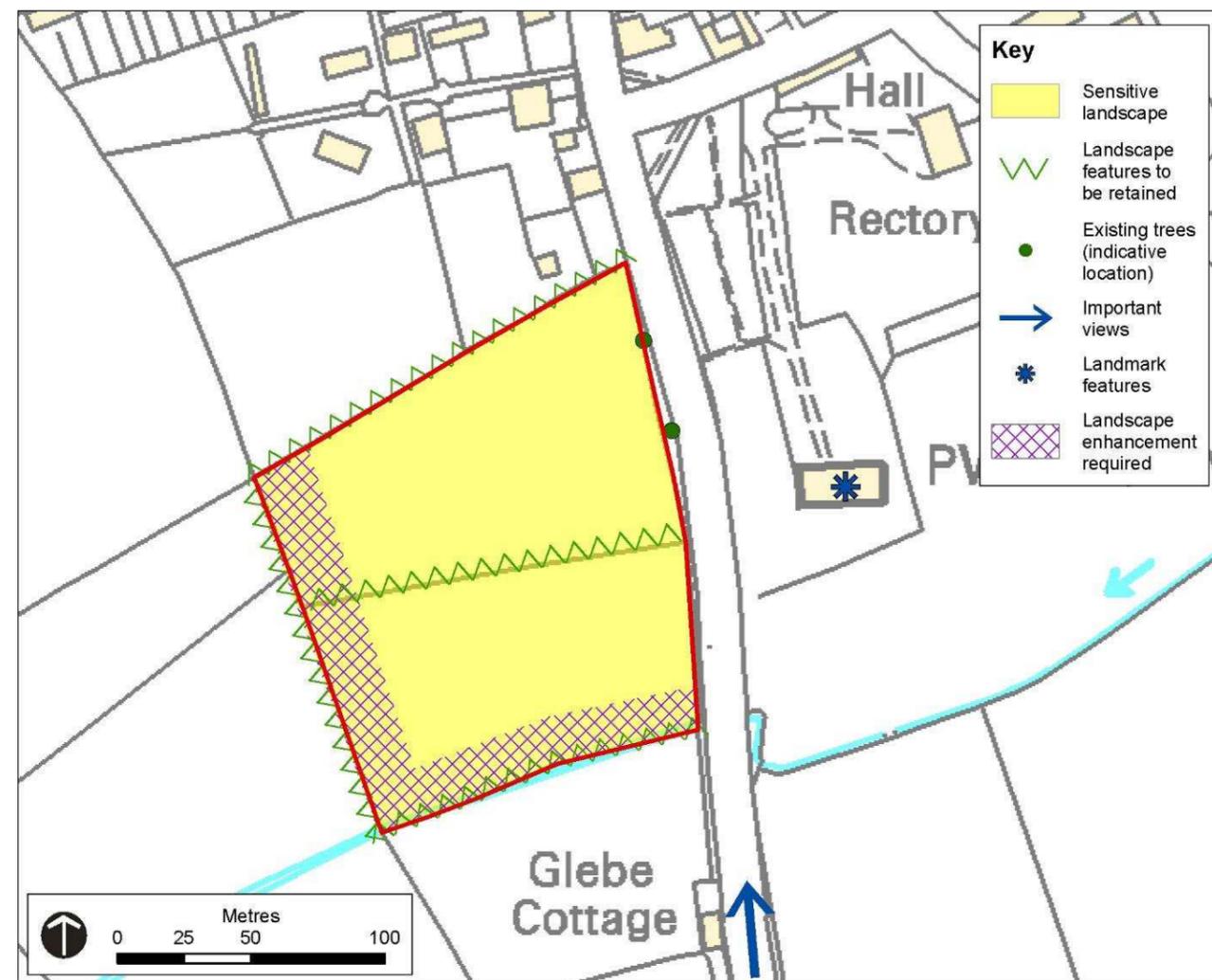
#### MODERATE

This site is on the edge of Ibstock and although the land is influenced by urban fringes it retains a rural character. There are extensive long distance views across the wider countryside. It would be difficult to develop this site without altering the appearance of the edge of Ibstock within the wider landscape and it could reduce the sense of separation between Heather and Ibstock. Woodland planting and open space would be required on site which would reduce the amount of land that could be developed. It would also alter the shallow valley that is visible on this edge of Ibstock.

## I9: Land to the west of Hinckley Road

### Description of Site:

The site lies on the southern edge of Ibstock and comprises two pasture/arable fields. The southern boundary is along a small stream and is characterised by mature trees and hedgerows. The land rises towards the edge of Ibstock. Properties on this edge are dispersed within mature gardens which reduces their prominence. Development along Church View which is within a denser layout is visible on higher ground beyond.



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### Recommendations or Conditions if site is developed:

- Retain the existing mature trees and hedgerow along the southern boundary
- Augment the southern boundary with woodland planting to provide a screen to development on site
- Enhance the wetland character of the stream along the southern boundary
- Augment the western boundary to ensure that when viewed from the wider landscape to the west the urban edge is seen as dispersed properties
- Provide avenue tree planting along Hinckley Road to soften views of development and create a formal approach into the village
- Ensure development does not become more prominent in views to the south along Hinckley Road; public rights of way; and Overton Road
- Ensure that development does not increase the scale of Ibstock in views from the south
- Ensure development does not reduce the prominence of St Denys Church on the edge of the village set within trees with little development visible
- Retain the wooded character of Hinckley Road with St Denys the most prominent feature on the approach to the village
- Ensure that St Denys Church spire remains a prominent feature in views above the village along footpaths to the west of the village off Station Road
- Ensure that development does not have an adverse effect on the setting and character of the conservation area
- Design layouts to include more dispersed density to properties along Hinckley Road to reflect the form and scale of properties to the immediate north of the site
- Ensure buildings are constructed of red brick with blue clay tile or slate roofs. Use brick or terracotta detailing to provide variation and interest particularly on properties on the edges of the site
- Use low brick walls to demarcate property boundaries with coarse rubble stone plinths used within wall construction along main roads
- Ensure where development is visible from the wider countryside it is seen as isolated or dispersed properties set within a mature wooded framework

### Potential to achieve mitigation in keeping with landscape character:

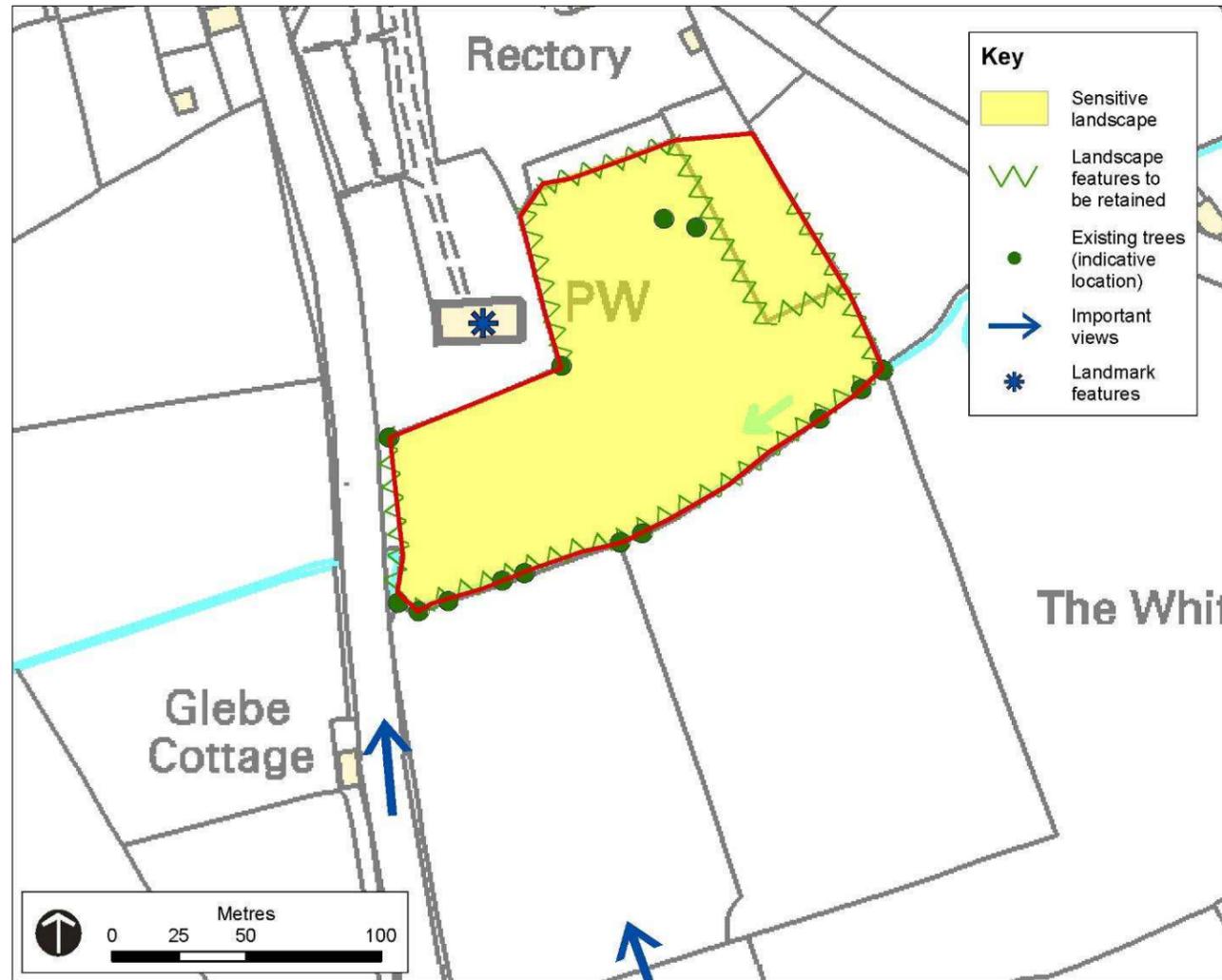
#### LOW

This site is on the southern edge of Ibstock close to the Conservation Area. The approach into Ibstock along Hinckley Road is distinctive with St Denys Church prominent within a wooded setting. The majority of the settlement is screened by trees. The association of the western part of the Conservation Area with the wider countryside is an important element reported within the Conservation Area appraisal. At this point the settlement retains the connection of the village with agriculture. It would be difficult to develop the site without reducing this connection. In addition it is likely to increase the urban influence of development on the approach along Hinckley Road as the land rises from the southern to northern boundary and rooflines would be visible above trees. From Overton Road and public rights of way it would increase urban development close to St Denys Church which would alter the churches rural wooded setting. It would increase the concentration of development around the church in views from the east.

# I10: Land to the south of St Denys Church

## Description of Site:

The site lies on the southern edge of Ibstock immediately adjacent to St Denys Church. It comprises a large irregular pasture field bordered by trees and hedgerows and a small rectangular field bordered by mature hedgerows and trees which provides a strong degree of enclosure. The land is visible within the wider countryside to the south where St Denys Church is a prominent feature. This fringe is described in more detail within Urban Fringe 5: Southern fringe of Ibstock.



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## Recommendations or Conditions if site is developed:

- Retain the rural and tranquil river valley character around St Denys Church
- Retain the existing mature trees and hedgerow along the southern boundary
- Provide avenue tree planting along Hinckley Road to soften views of development and create a formal approach into the village
- Ensure development does not become more prominent and does not increase the scale of Ibstock in views to the south along Hinckley Road
- Ensure development does not reduce the prominence of St Denys Church on the edge of the village set within trees with development generally screened or where visible is more distant in views
- Retain the wooded character of Hinckley Road with St Denys the most prominent feature on the approach to the village
- Ensure that St Denys Church spire remains a prominent feature in views above the village along footpaths to the west of the village off Station Road
- Retain the rural approach to the village along Overton Road
- Ensure that development is not visible beyond the church in views from the east along Overton Road
- Ensure that development does not have an adverse effect on the setting and character of the Conservation Area by the loss of the connection between existing properties and their agricultural heritage
- Ensure design layouts include more dispersed properties along Hinckley Road to reflect the form and scale of existing properties to the immediate north of the site
- Ensure buildings are constructed of red brick with blue clay tile or slate roofs. Use brick or terracotta detailing to provide variation and interest
- Use low brick walls with coarse rubble stone plinths to demarcate property boundaries
- Ensure where development is visible from the wider countryside it is seen as isolated or dispersed properties set within a mature wooded framework

## Potential to achieve mitigation in keeping with landscape character:

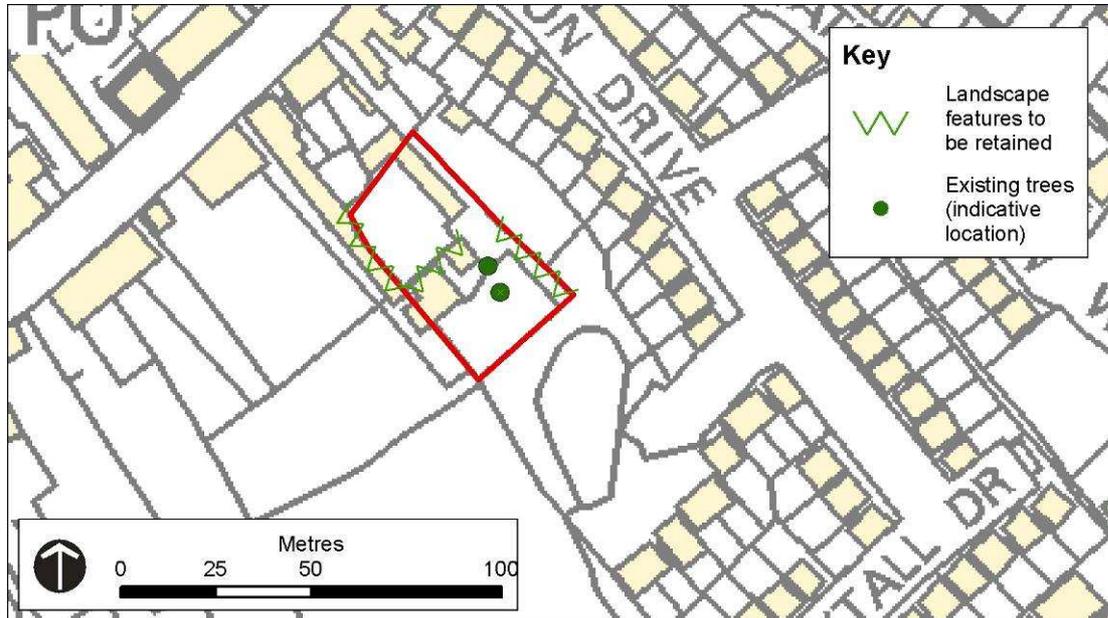
### LOW

This site is on the southern edge of Ibstock immediately adjacent to St Denys Church. It would not be possible to develop this site without reducing the prominence of the church in views to the south. Development would screen the church although the spire would remain visible. No mitigation could be implemented to ensure that the church remains prominent. In addition it would result in the alteration of fields immediately adjacent to the conservation area which would break the connection between buildings on High Street with agricultural fields. This also could not be mitigated.

# I11: Land to the rear of properties on Legion Drive

## Description of Site:

The site comprises a private residence and garden some associated out-buildings and a small field bordered by mature hedgerows and trees. There are a number of mature trees around and within the site.



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## Recommendations or Conditions if site is developed:

- Retain mature trees within and around the site
- Augment the south western boundary to provide a wooded setting to development
- Ensure development on site does not have an adverse effect on the character of the Conservation Area which is immediately to the west of the site
- Ensure development on site does not make the site and urban edge more prominent in views from Overton Road
- Reflect the scale and form of surrounding development
- Reuse existing buildings where possible
- Ensure buildings are constructed using red brick with blue plain tile or slate roofs
- Ensure any access required to the site is in keeping with the scale and style of roads within the Conservation Area
- Use red brick with occasional coarse rubble plinths for property boundaries

## Potential to achieve mitigation in keeping with landscape character:

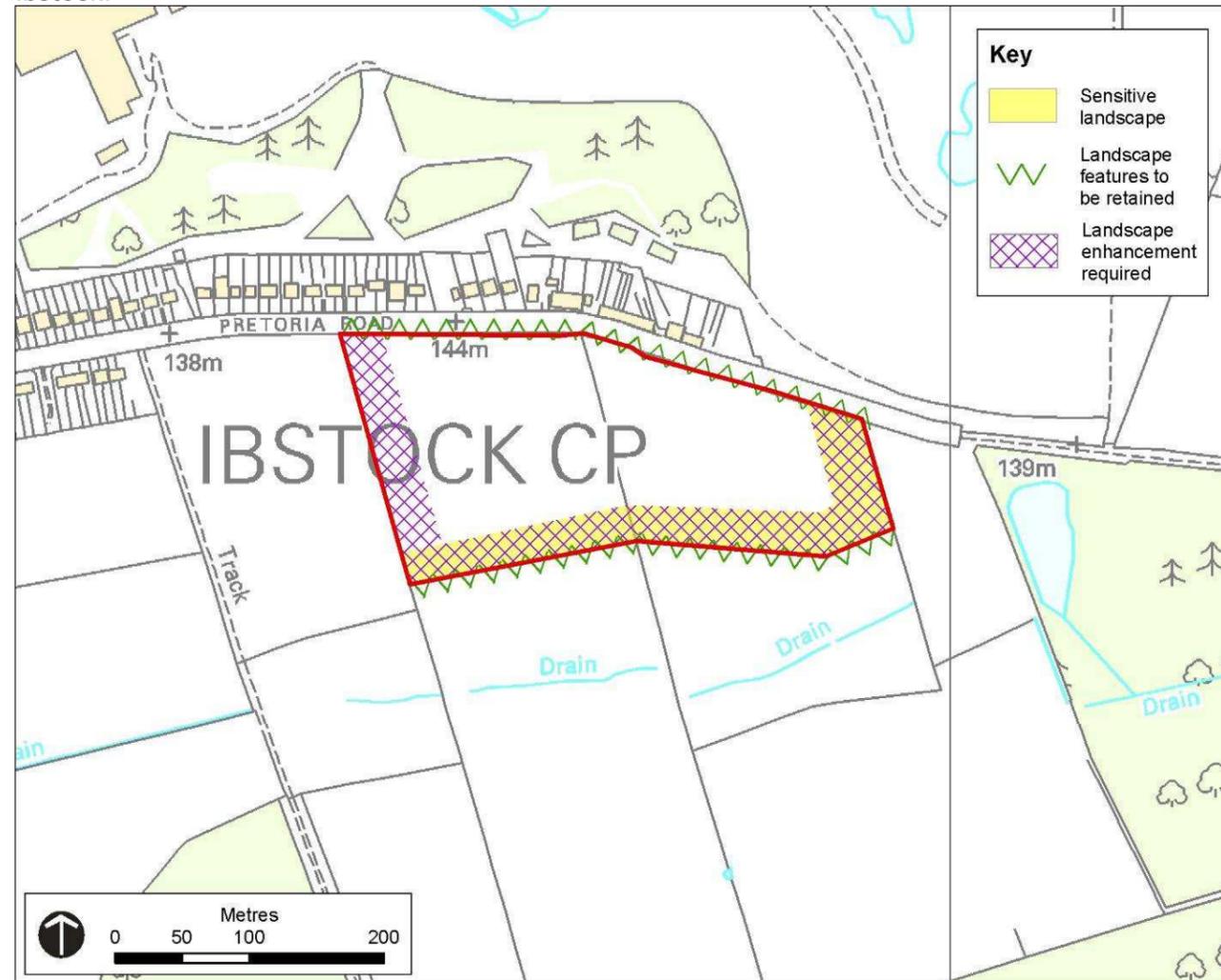
### **MODERATE/HIGH**

This site is currently developed and within an urban area. Layouts would need to include tree planting along the south western boundary to ensure that the Conservation Area setting is not adversely affected.

## I12: Land to the south of Pretoria Road

### Description of Site:

The site lies on the edge of Ibstock to the south of Pretoria Road. There is a small ribbon development which extends beyond the main built area of Ibstock. This linear band of properties is immediately north of the site. The site comprises two arable fields which slope down from Pretoria Road to small drainage ditches. The fields are bordered by low hedgerows. The wider landscape is surrounded by Workmans Wood, a young plantation which will provide screening of this edge as it matures. The fringe is described in more detail within Urban Fringe 4: South eastern fringe of Ibstock.



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### Recommendations or Conditions if site is developed:

- Retain the field pattern within any development
- Augment the hedgerows with new woodland planting along the southern, eastern and western boundaries to provide softening of new properties
- Retain the hedgerow along Pretoria Road
- Design open space and woodland planting to provide linkages with the surrounding woodland and open spaces to the north and east
- Include wetland ditches and scrapes within the southern part of the site to link with some of the wetland features within the wider landscape
- Include tree planting along the access roads into the site
- Ensure that development is not visible from Battram to the south or Wood Road to the south east
- Reflect the scale, form and style of properties along Pretoria Road and within the centre of Ibstock within any development on site
- Ensure development is constructed using red brick with either blue tile or slate roofs
- Ensure properties face onto Pretoria Road
- Ensure that development is not prominent within views to the west from Hinckley Road and Overton Road where it would increase the scale and massing of Ibstock in the wider landscape
- Retain the character of a rising edge of Ibstock interspersed with trees

### Potential to achieve mitigation in keeping with landscape character:

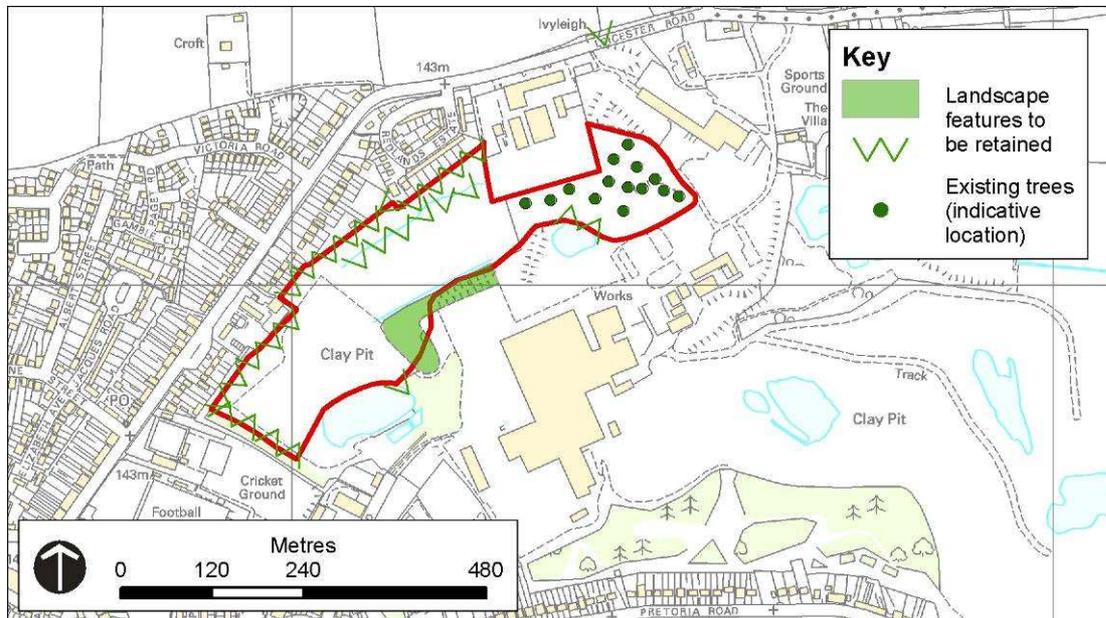
#### MODERATE/HIGH

At a local level the development of this site would be visible from the edge of Ibstock and would alter the linear nature of development along Pretoria Road. There are currently no trees on site and the open views across the site from the surrounding roads and footpaths which would alter if the site was developed. Views would also alter with mitigation as the open character would change and become more enclosed. It would also be visible from Overton Road which would increase the scale of Ibstock. However this effect would only be experienced over a short distance. In addition young plantation which surrounds this edge would provide screening of Ibstock and new development from the wider landscape as trees mature. This would gradually isolate the farmland from the wider countryside and increase the influence of woodland on the character of the land.

# I13: Land to the south of Redlands Estate

## Description of Site:

The site is within the northern part of Ibstock to the immediate north of the clayworks. The site comprises grassland and trees, blocks of linear woodland along the southern edge of the site and trees along ditches. Within the western part of the site there are scattered trees and regenerating scrub. The site is bordered by industry to the south and residential development to the north.



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## Recommendations or Conditions if site is developed:

- Retain the mature trees along the northern, southern and western boundaries to the site
- Retain where possible mature trees within the eastern part of the site to provide a mature setting to development
- Locate open space along the northern boundary to incorporate existing ditches and woodland
- Enhance existing wetland features such as ditches through the site and include new riparian planting
- Include tree planting along roads through the development
- Augment woodland planting along the southern boundary of the site to screen adjacent industry
- Ensure development does not make this edge of Ibstock more prominent to the east where it may reduce the sense of separation between Ibstock and Ellistown
- Ensure development reflects the scale and form of surrounding buildings including detached and semi detached properties at a maximum of two storeys in height
- Ensure buildings are constructed from red brick with blue tile or slate roofs
- Use red brick with some coarse rubble stone plinths for property boundaries

## Potential to achieve mitigation in keeping with landscape character:

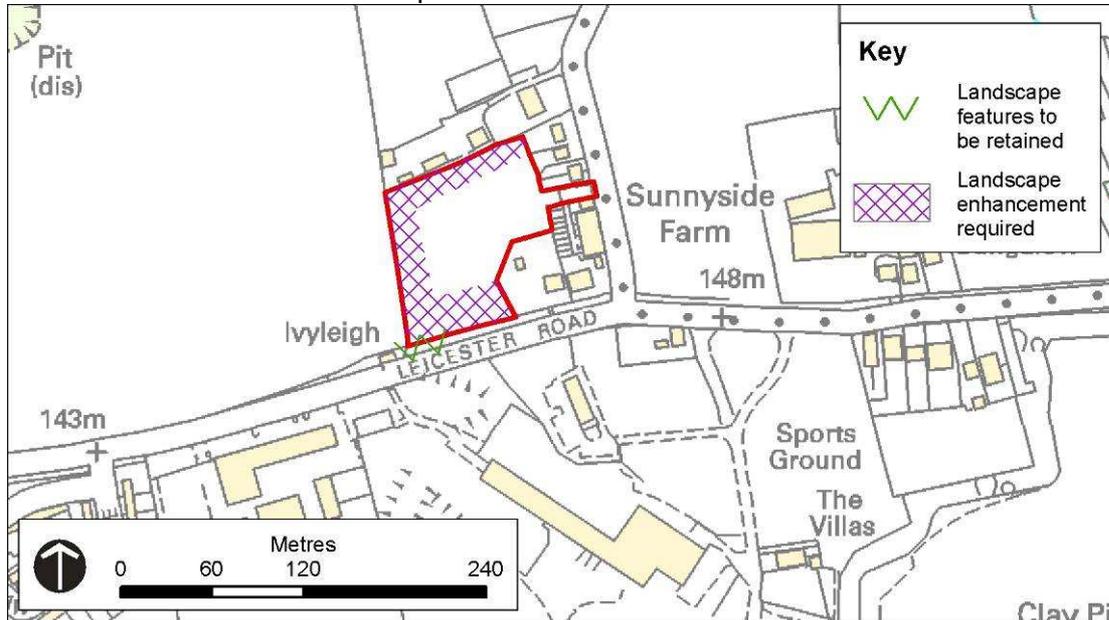
### **HIGH**

The site is enclosed by residential development to the north and the clayworks to the south which provide screening. Provided landscape features are retained through the site and it does not become prominent in views from the countryside to the east, development could be accommodated with few adverse effects.

# I14: Land to the rear of properties on Richmond Road

## Description of Site:

The site comprises a single arable field bordered by low hedgerows and no hedgerow trees. It is adjacent to other larger arable fields with similarly low hedgerows and few hedgerow trees. Properties on Richmond Road back onto the site and are prominent from within the wider landscape.



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## Recommendations or Conditions if site is developed:

- Retain and augment the existing hedgerows on site
- Seek to reduce the prominence of the urban fringe through providing tree planting and small blocks of woodland around the fringes of the site, particularly the western and northern boundaries
- Include avenue tree planting along Leicester Road
- Retain views towards Bardon Hill through careful siting and orientation of built form
- Ensure that the urban edge of Ibstock does not become more prominent within the wider landscape to the south and the approach into Ibstock along Richmond Road
- Ensure that the development is not visible from the wider landscape and Donington le Heath to the north
- Ensure where development is visible from the north it appears as a narrow single line of properties on high ground
- Ensure that separation remains between Ellistown and Ibstock and that development does not contribute to the appearance of the two settlements being one
- Ensure development reflects the scale of properties on Richmond Road which includes detached and semi-detached properties of a maximum of two storeys in height
- Use red brick for building construction and blue clay tile or slate for roofs

## Potential to achieve mitigation in keeping with landscape character:

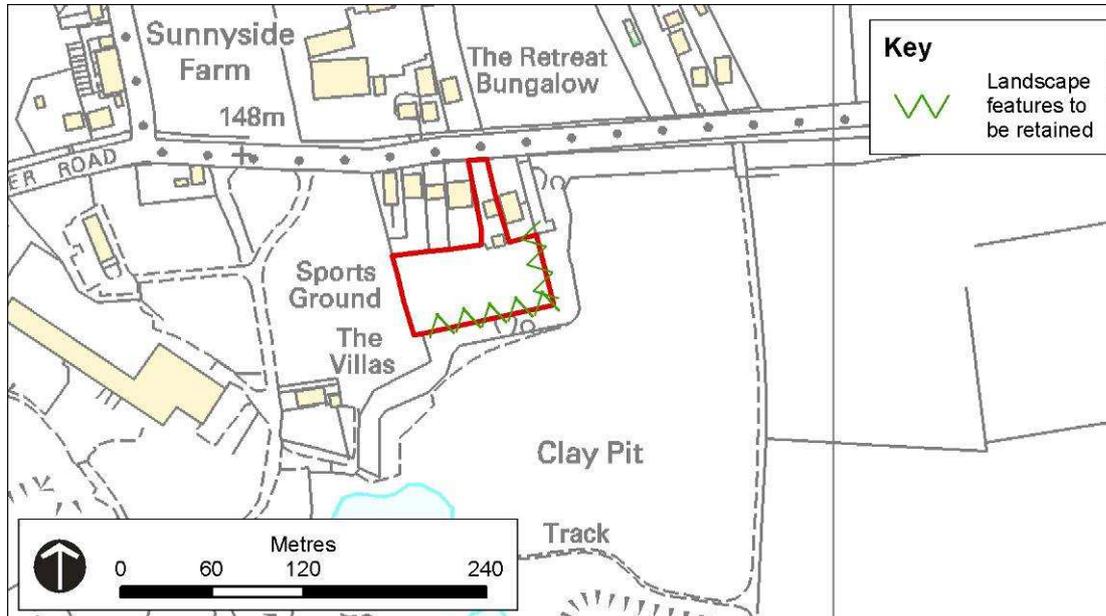
### **MODERATE**

The site currently has low hedgerows with little screening. Whilst new tree planting would help to provide screening it would reduce the amount of land available for development. This edge is relatively prominent within the wider landscape and advanced and established tree planting would be required prior to development taking place.

# I15: Land to the rear of properties on Leicester Road

## Description of Site:

The site lies to the immediate rear of some detached properties on Leicester Road. The site comprises a single pasture field with scattered trees bordered by woodland to the south and east and a mature hedgerow to the west.



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## Recommendations or Conditions if site is developed:

- Retain the mature hedgerow along the eastern boundary of the site
- Retain and augment the mature woodland boundary on the eastern and southern boundaries of the site
- Ensure that development is not visible from the wider landscape to the east where it would reduce the sense of separation between Ibstock and Ellistown
- Ensure that properties are generally only visible along Leicester Road. Carefully site properties to reduce the scale of development visible from Leicester Road
- Ensure development is of a similar scale, form and pattern to surrounding development
- Use red brick in building construction with blue tile or slate for roofs

## Potential to achieve mitigation in keeping with landscape character:

### **HIGH**

The site is enclosed by residential development along Leicester Road and to the south by some mature trees. Beyond this, new tree planting has been implemented along a watercourse. As this matures it will strengthen this wooded screen. Development could be accommodated on site with few adverse effects.